

Sage

Creek

Community



f o r S i n g l e F a m i l y H o u s i n g

DESIGN GUIDE

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Sage Creek Community Design Guide for Single Family Homes

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This design guide is intended to be used as a guide for lot owners in designing and building their home and related improvements on their lot consistent with the overall scheme for the development of Sage Creek.

The Sage Creek Concept

Sage Creek is a proposed single family housing development of thirty two lots of 1½ to 2 ½ acres in Delaware County, Ohio. In this land of rolling hills, meadows and trees, the developers of Sage Creek envision a neighborhood community which provides an attractive environment not only for living and work, but also for recreation and social activities as well.

Sage Creek Community is dedicated to preserving the natural beauty of the land through good design practices, good management and controlled growth. This will ensure the long-term protection of each homeowner's investment, as well as maintaining the quality of the environment throughout the development.

Why a Design Guide?

The Sage Creek Design Guide has been prepared to help home buyers, home builders, architects and residents of Sage Creek understand the design process and to assure the long-term quality of the Sage Creek Community. The intent is not to dictate the design of each home, but rather to coordinate the individual efforts of all Sage Creek residents to achieve a unique neighborhood setting where homes blend with and enhance the natural environment and are in harmony with each other.

The Design Guide covers three basic sections:

Your Homesite:

Things to look for and to do before you decide upon the way to use your lot.

Your Home:

Items to consider when deciding upon the type or style of house to build.

Materials, Details and Directions:

Specific recommendations and requirements for building materials, building details, colors, landscaping and site development.

By understanding and following the recommendations in this Design Guide, you and your home will become an important, integral part of this unique new environmental community.

Design Review:

Every proposed new home or improvement to an existing home in Sage Creek must be reviewed and approved by the Design Review Committee before construction begins. This design guide and covenants for development of Sage Creek shall be the basis for approval or disapproval of each proposed new home or improvement.

Your Automobile

A basic goal relating to automobiles is to reduce their visual impact on the neighborhood. The placement of driveways and garages is very important toward achieving this goal.

Your Driveway:

Access from the street should be as easy and direct as possible, but often the straight-line drive or garage door to street solution makes the garage overly important. Ideally, garage doors are screened with planning or set back from the face of the house. Curved driveways and driveways to detached garages at the rear of homes are possible.

The ideal driveway links strongly with the front entrance, making it easy for a person to use the front door before reaching the rear. A perfection of this idea makes the driveway part of the entry garden, partially enclosing it with shrubs or a wall creating a real "auto entrance". Special driveway paving is encouraged (brick, combination brick and concrete, textured concrete, etc.). On sloping lots, "sunken" or cut-in driveways should be considered. On flat sites, mounding may be considered to help driveways blend with their sites. All driveways must be at least 2' from the property line. A 10' width of Unistone pavers is recommended in each drive apron adjoining the street, but not required.

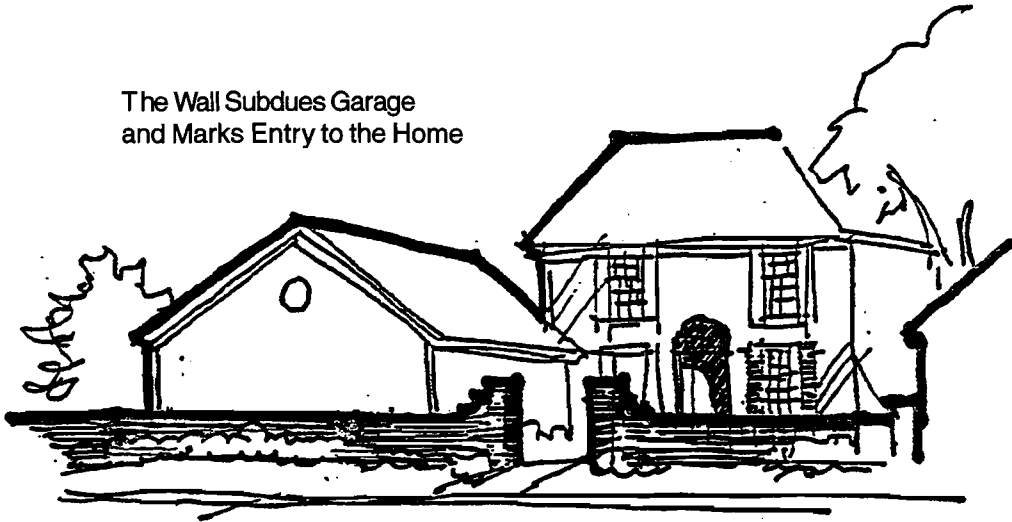
Parking Spaces:

A total of four parking spaces shall be provided on each lot: two enclosed and two on the driveway. Ideally, on-site parking spaces are to be screened by planting or gently mounded earth.

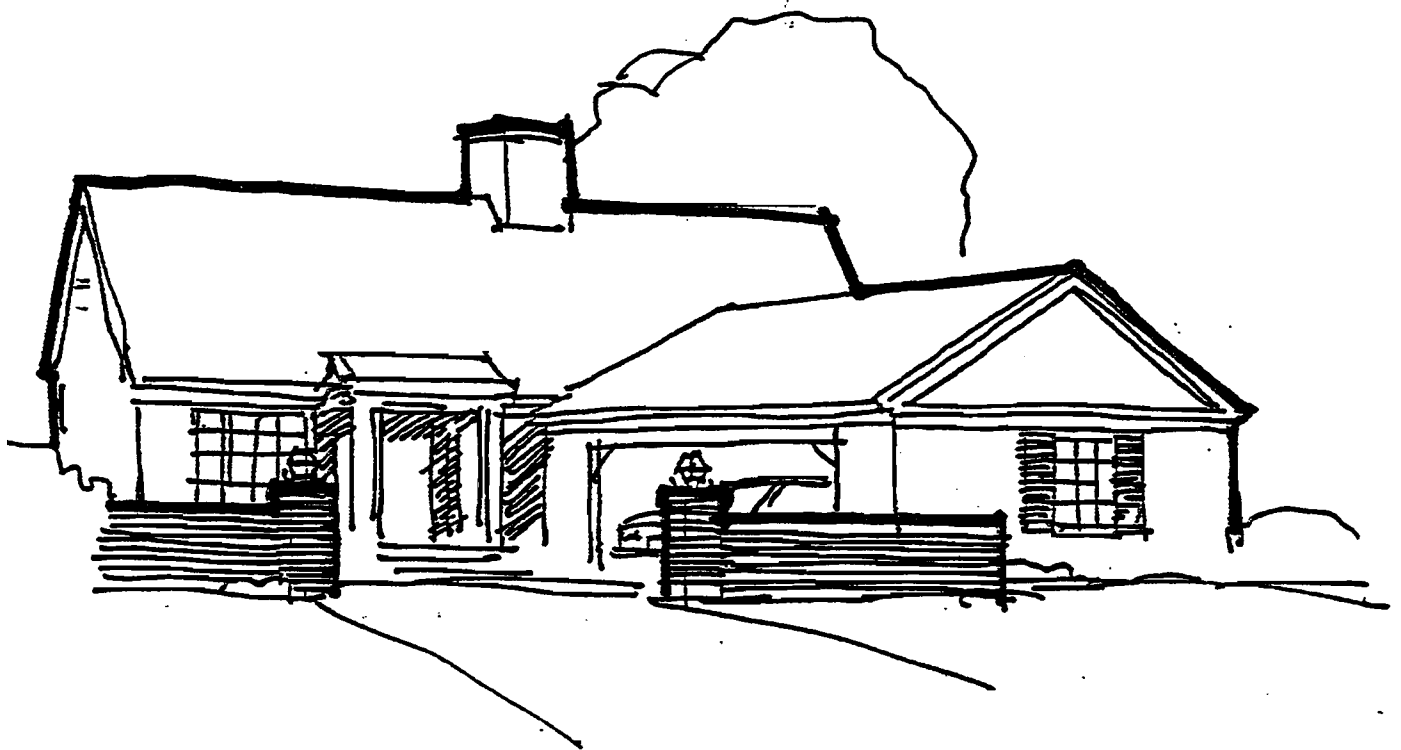
Camper, Trailer or Boat Storage:

Storage of mobile equipment must be in a garage.

The Wall Subdues Garage
and Marks Entry to the Home



Wall Enclosed Entry Garden



Wall Enclosed Motor Court

Your Homesite

Each building site at Sage Creek has its own specific qualities and characteristics. It is important that you look carefully at your lot, observe its special assets and decide how each of these can best be used to increase the aesthetic value of the lot to you and the community. Before you select or design your home there are some things you must think about.

Home Planning

If you are going to successfully plan your home, you must consider both the outdoor as well as the indoor spaces. You will be attempting to create and control all the space you live in; everything you see, use and maintain. You must consider the relationships of the four main functions of a home; public access, (front yard, entry hall); general living, (living room, terrace); work, (kitchen, garage and service); and private living, (bedroom, bathroom). Each of these spaces has its corresponding indoor and outdoor elements. Each works best and provides most livability and pleasure when planned from the outset and built as part of a continuous indoor-outdoor system.

Site Qualities

First you must identify the natural qualities of the site. Decide what they are and how they should be used. Save the trees, rock outcroppings and scenic areas; use the views; recognize the slopes and drainage patterns. Place your house on the site to disturb a minimum of existing grades and contours. During construction, protect trees or natural areas by a temporary fence or barrier. Leave ravine areas natural and undisturbed; do not fill with dirt or debris. Remove no trees or natural features before final approval of plans and specifications.

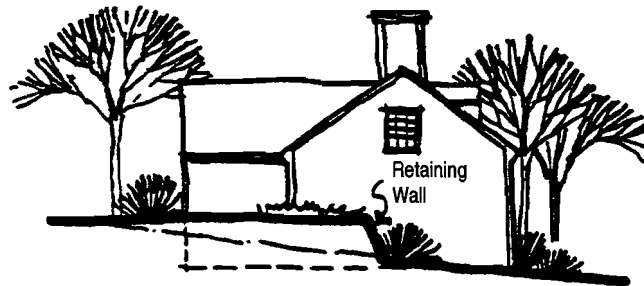
Topography

The land at Sage Creek varies from level to very steep. Such design elements as mounding, retaining walls and the stepping of slopes should be considered in developing your site. These elements should blend with your site and enhance its natural features.

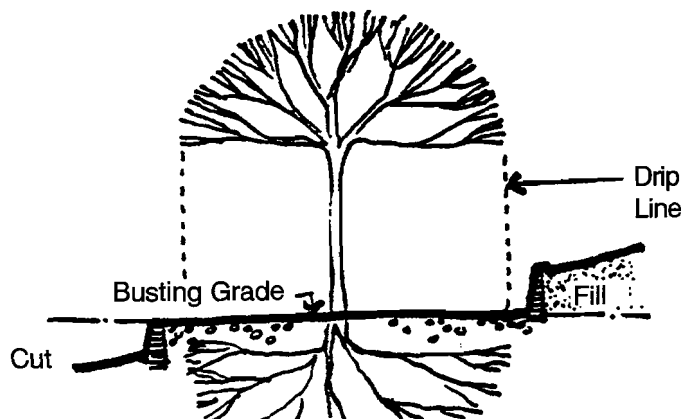
Grading

When trees or other such elements are to be preserved, they will determine the level of grading in their immediate vicinity. Retaining walls, terraced bands, and planted slopes should be considered as part of a grading plan.

Graded portions of lots outside the buildable area shall be kept near existing grade or shaped not to exceed a 4:1 slope.



Controlling a Slope



When level must change at a tree the best procedure is to build a wall or grade outside drip line.

Protecting a Tree

Drainage

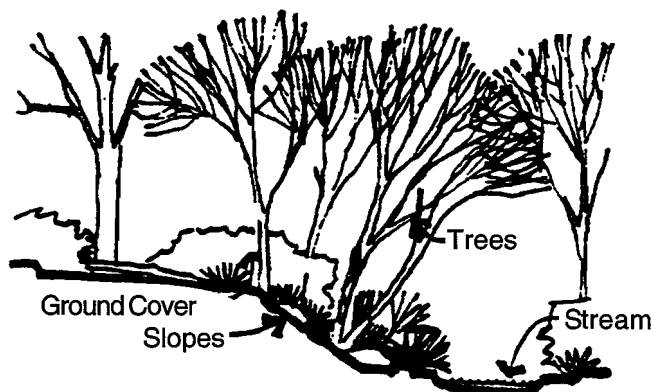
Drainage is often a major problem for the new homeowner, often forgotten and seldom completely solved before the first big rain or spring thaw forces action. On sloping land, each neighbor receives water from those above him and deposits water on those below. Therefore a pattern of compulsory mutual responsibility is established.

The acts of excavating or filling, or destroying the natural vegetative cover, or of building impervious roofs, or paved surfaces, increase the amount of surface runoff and change its direction and concentration.

Storm water from buildings and pavements on each site shall be directed by pipe or swale to the street, the nearest storm sewer or natural waterway. Storm water originating from the natural watersheds of adjacent property shall be accommodated and transmitted through your site to an existing outlet.

It is required at Sage Creek to control storm water and sedimentation both during and after construction.

All driveway culverts are to be concrete and 12 inch minimum diameter with minimum 4 inch riprap stones as appropriate at each end. An adequate amount of riprap is required.



Preserve Natural Site Qualities

Setbacks and Side Yards

Building setbacks are flexible at Sage Creek within the minimum requirements set by zoning. It is the intention that homes will have varied setbacks, not "lined up" as in a subdivision, and be carefully sited in more random order where trees and topography indicate. *See Covenants*

Coordinate with Your Neighbor

Create privacy for you and your neighbor by carefully locating and coordinating the private spaces of your home. When possible, use common screen walls or fences to help each other create privacy. Think about where you place your windows; avoid windows that "look into" your neighbor's windows.

Garage

Place your garage so that the door does not dominate your house. Set it back from the main face of the house, curve the driveway, and/or enter from the side or rear.

All garages at Sage Creek must be side loaded or angled. No straight approaches from the street are permitted.

Your home at Sage Creek should respect its site, and use it wisely, and recognize its natural assets. Let the qualities of the site enrich your home.

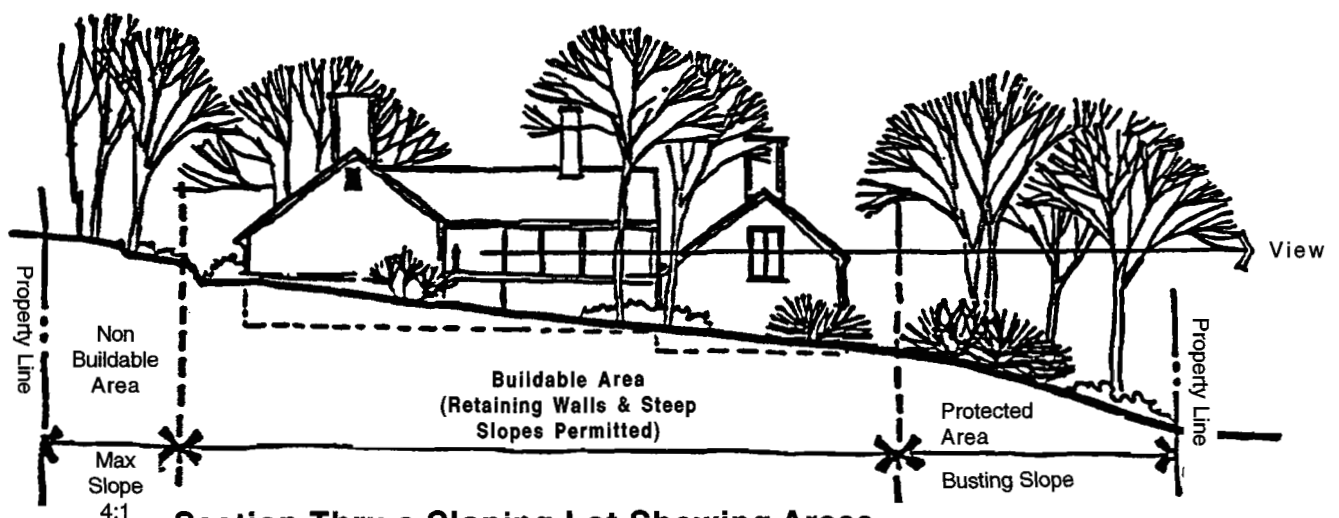


The Setback



The Entry Court

Subdue the Garage



Section Thru a Sloping Lot Showing Areas of Consideration

Your Home

Your home at Sage Creek should have a natural quality with natural materials, colors and form predominating. The home easily blends with its natural surroundings and with its neighbors.

As you design your home, consider seriously the following elements:

The roof form and building mass: the general shape of the home - roof, walls and appendages - should fit in with the land and be compatible with neighboring homes.

Materials: whenever possible, use natural materials such as wood, brick, stone and tile.

Colors: earth tones (tan, brown, dusty green, warm grays, and rusty red) blend well with the environment at Sage Creek. These colors are found in reproductions of traditional colors from the 18th and 19th centuries. For examples of these colors, refer to Sage Creek approved colors and materials specifications in this Design Guide. No white or black colors are permitted.

Building Style

Homes at Sage Creek are not restricted to one style or character, but traditional design is encouraged.

Consideration should be given in the design to compatibility with the character of neighboring homes.

Emphasis is placed on building “form” rather than on building “style”. Form is determined by building height, number of stories, roof pitch, width of overhangs, etc.

Note that any of the following house forms, even though each may appear to be a specific “style”, may become, with selection of proper details, either “traditional” or “contemporary”.

First, select the form that will best suit your family; then, with great care, select the details that suit your taste. Then, select compatible natural materials and colors.

2 Story Homes

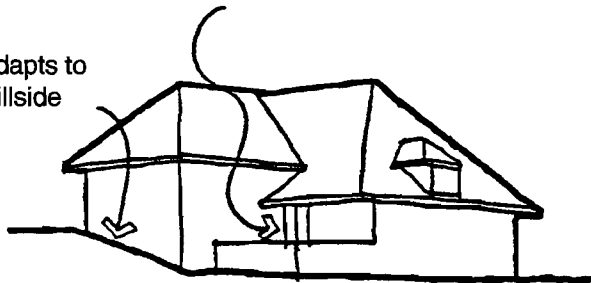
Typical building forms showing desirable design features

One Story elements on two story homes make them appear "friendlier" and less formal

Scale of End Gables should be kept minimal

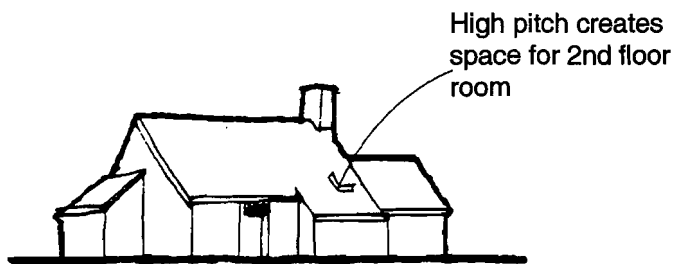


Adapts to Hillside



Hip Roof with High and Low Eave Lines

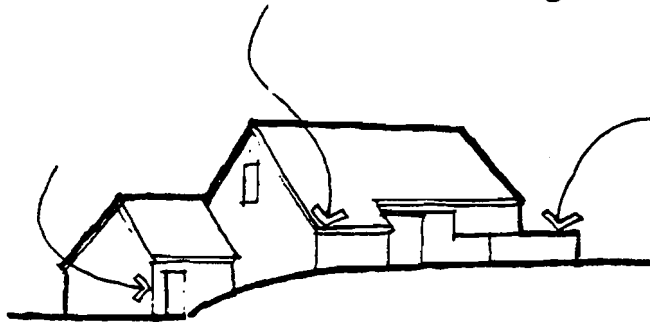
1 ½ Story Homes



High Pitch Gable Roof with Shed Roofs



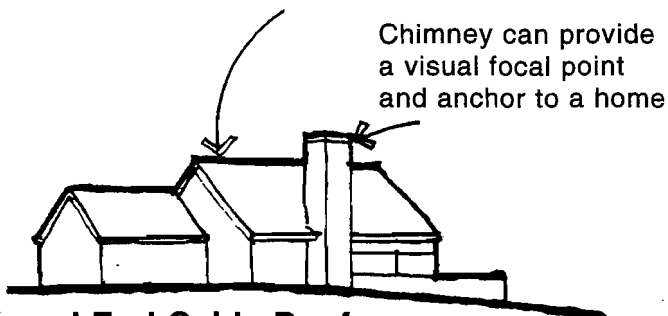
High Pitch Hip Roof with Dormers



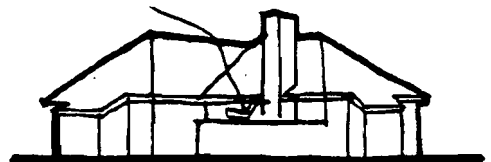
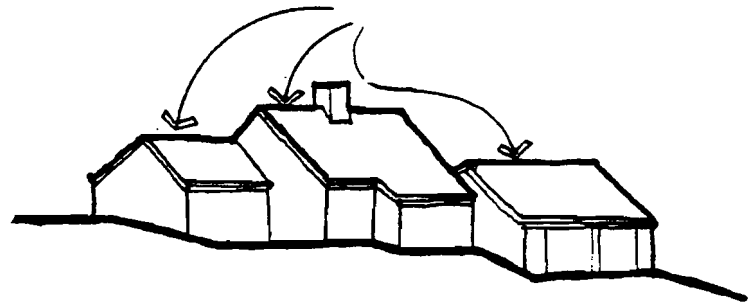
Gable Roof on Hillside

1 Story Homes

Create interesting
"cathedral" ceiling inside



Glazed End Gable Roof



Building Heights and Form

In general, houses at Sage Creek are to be designed to hug the ground as closely as possible. One-story and one and one-half story houses with low profiles are encouraged on typical low areas exposed to long views to assure a gradual transition from open spaces to the residential areas. Taller two-story houses can be built as part of “interior” neighborhoods and in wooded areas to blend with the tall trees.

The terrain often suggests the type best suited for the lot. On slopping lots split-level homes or homes with special features (like balconies overlooking views or basements open to grade) are encouraged.

Height of one-story homes must not exceed 35' measured from the finish grade of the lot at the main entrance of the home to the ridge line. Height of one and one-half story homes must not exceed 35' from the finish grade of the lot at the main entrance to the home to the ridge line. Two-story homes may not exceed 35' from the finish grade of the lot at the main entrance of the home to the ridge line. Distance between grade and floor is to be kept to a minimum.

Detached garages, other outbuildings, walls and fences are encouraged when designed to coordinate with the design of the home.

High houses should have appendages or wings to help them hug the ground.

Metal storage sheds and other prefabricated outbuildings are not permitted.

The Roof

The roof, its shape and material, must be carefully designed. In general, major roof slopes should be from a minimum of a 6/12 to a maximum 12/12 pitch. The roof forms throughout the community should be compatible with one another to help achieve a pleasant, homogeneous character. Gable and hip roofs and minor variations and combinations of these two roof types are preferred. Shed and gambrel roofs when designed in a sensitive manner (ideally by a qualified design professional) are acceptable. Flat and mansard roofs are prohibited. Generally, a simple roof design is preferred over a more complex design.

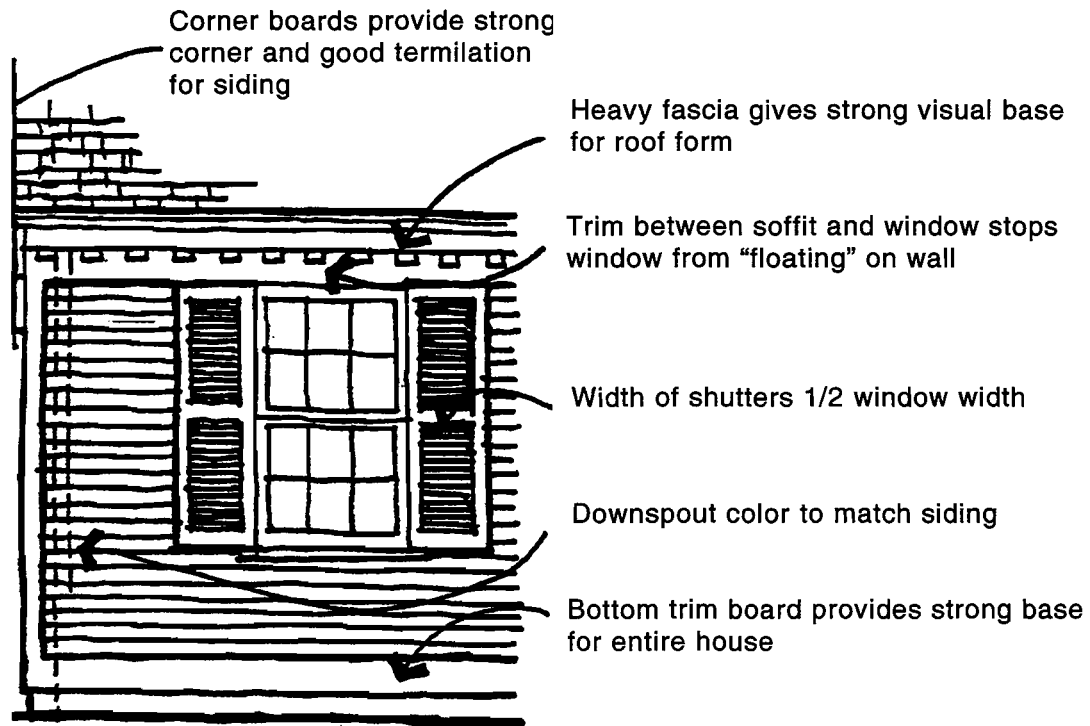
Materials, Details and Direction

Roof Material

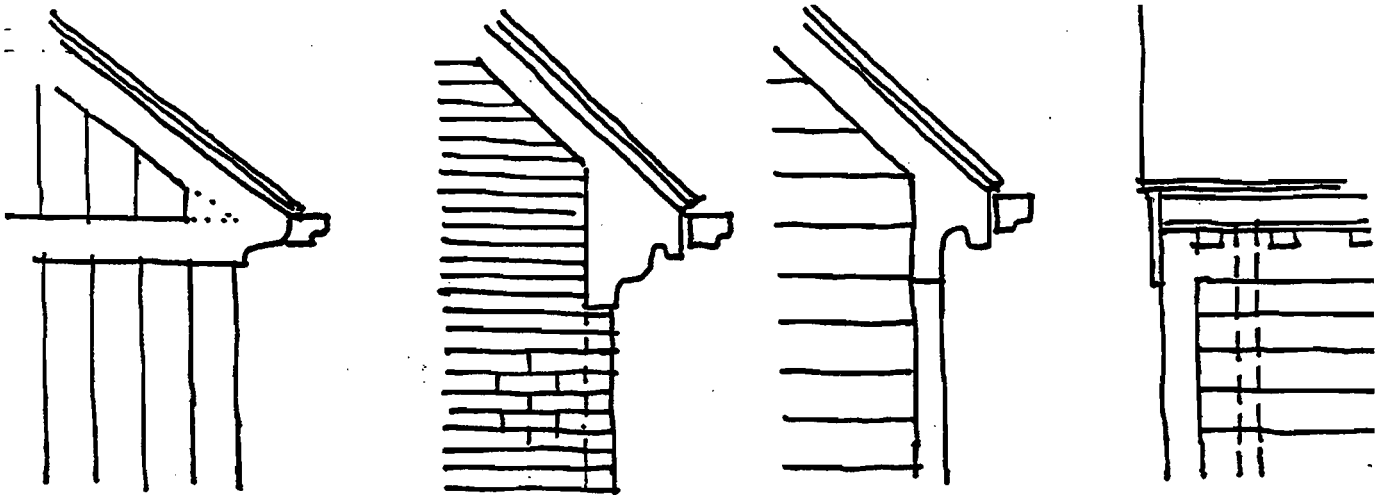
Roof materials and colors should be compatible throughout the community. The use of wood shingles or wood “shakes” left to weather naturally is strongly recommended. Asphalt shingles, when used, should be heavily textured (min. 280# per square) and medium brown to gray in color to simulate the appearance of a natural weathered wood shingle roof. For examples of acceptable types of asphalt shingles see Sage Creek Approved Colors & Materials section of this Design Guide.

Roofs of slate or tile may also be used. No white roofing materials will be permitted and the use of extremely dark colors is discourge. All roofing materials and colors must be approved by the Design Review Committee.

Overhangs provide protection to the home, allow windows to be left open during a rain and help the house to hug the ground. Wide overhangs are more typical of contemporary styling, while narrow overhangs are generally more typical of traditional design. Gutters, fascias and rakeboards are to be stained or painted to match roofs. Downspouts are to be painted to complement the side walls. Roof fans, jack vents and flashing (except copper) are to be painted to match the roof.



Cornerboards, Windows, Gutters and Downspouts



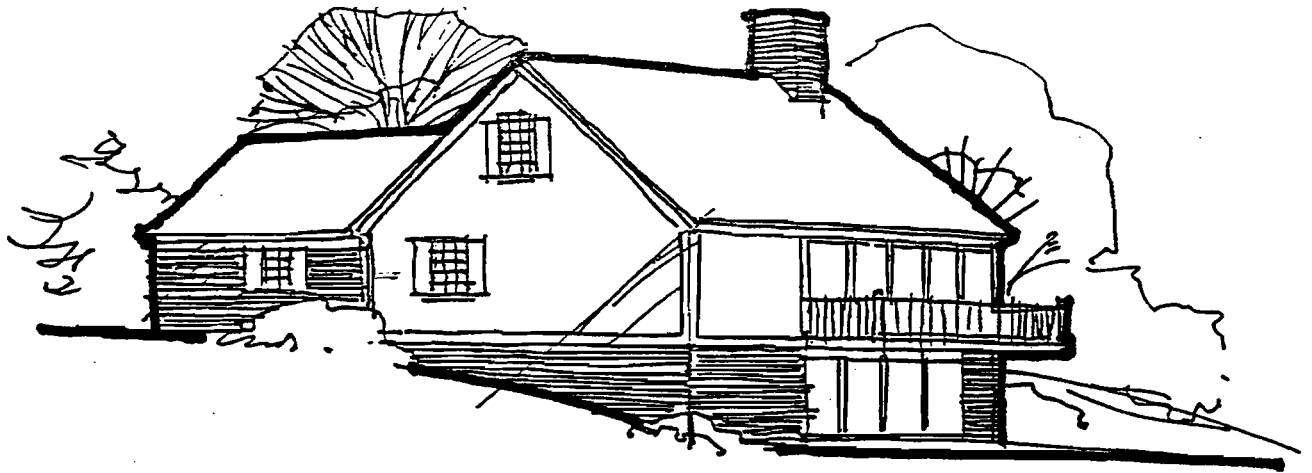
Cornice Details

The “Four Sides” of Your House

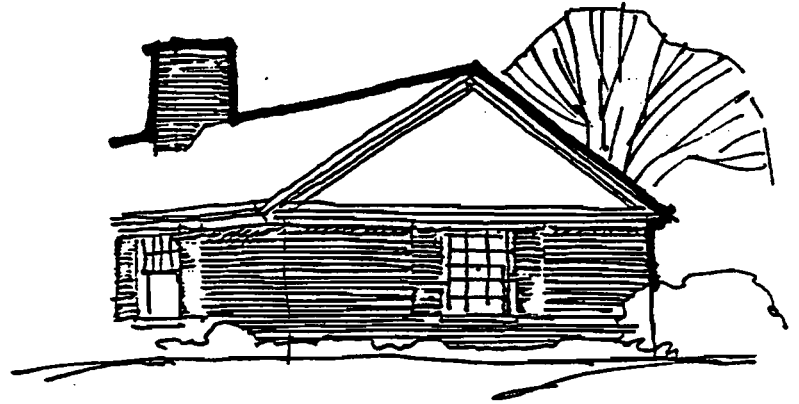
All sides of a home should be detailed and finished in a similar way. There should be no substantial difference between front, sides and back. Homes will be seen from many sides and each side is important. Mixing materials on the side of the house or material changes from side to side are discouraged, but if material changes are necessary, special detailing (like corner boards or wide returns) must be approved by the Design Review Committee.

Windows

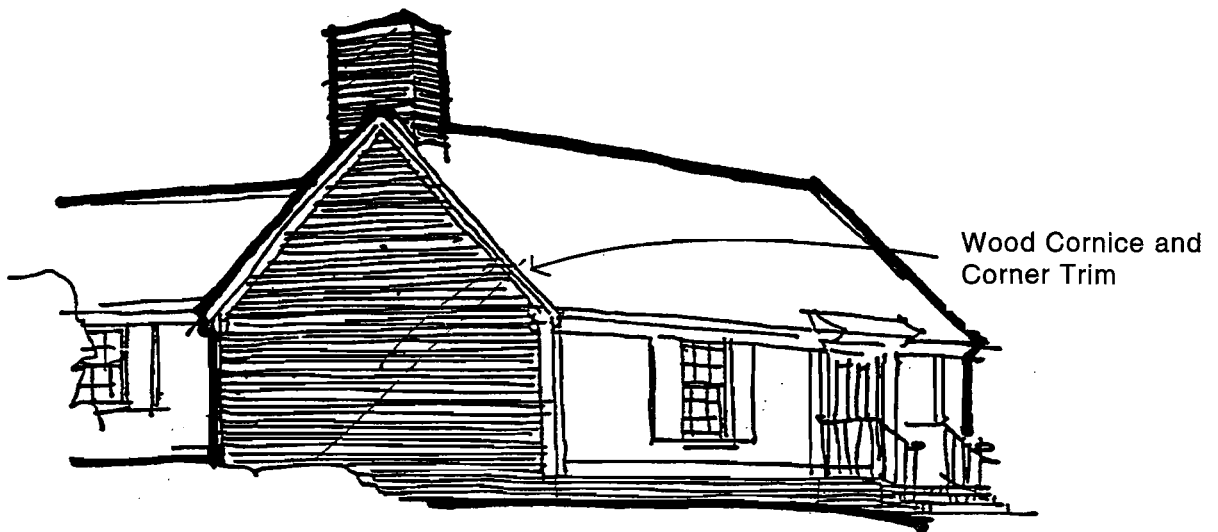
Many types of windows (casement, double-hung, horizontal sliding, wood, etc.) are acceptable at Sage Creek as long as they have been carefully selected and proportioned to enhance the walls in which they are placed. Window frames shall be wood or vinyl clad. The same window type should be used on all sides of a home so that all four sides relate. Window muntins are encouraged in all elevations.



All Wood House with Masonry Wing, Chimney, and Foundation



All Masonry Wing or House with Wood Gable



Masonry End Wall and Foundation

Unobstructed window large enough to take full advantage of garden and long distance views are encouraged.

Shutters should be properly proportioned to fit the window and should be of authentic period design. On more contemporary homes, wide board trim should be used on windows to provide adequate detail to the window and help it integrate with the wall. When wide trim is used with properly proportioned windows, shutters are not aesthetically needed. Awnings are not acceptable unless they are cloth type and blend with the house. They **MUST** have the approval of the Design Review Committee.

Glass Walls

Sliding glass doors, view windows. Clerestories and skylights are encouraged if designed to help the house take full advantage of the site and views. Proper protection must be provided to ensure privacy from street neighbors.

Doors

The entrance is probably more important than any other exterior part of your home. Care should be taken to select aesthetically pleasing arrangements and materials to enhance the entry. Natural materials, again, are preferred (wood, brick, glass). Aluminum storm and screen doors are discouraged. If used, their finish must blend with the home (no unpainted aluminum). Decorative “scalloped” storm door panels are not permitted. The garage door also is often a very important element of a home. Garage doors should be de-emphasized and blend with the design character of the house. Garage doors shall be of one color and of wood or wood-based materials.

Chimneys - Fireplaces

All chimneys shall be of traditional brick or stone masonry construction. No wood or stucco enclosures will be permitted.

Building Materials and Colors

The roofs and side wall materials of each house shall be compatible with each other and shall bend into common color tone. Natural colors of natural materials blend with natural materials. Accent colors are encouraged only if used carefully to add a highlight or detail to the natural house. For examples refer to Sage Creek approved colors and materials specifications.

The following are acceptable exterior building materials:

Wood Siding

4” and 8” clapboard, rough or smooth finish; v-joint tongue-and-groove boards; vertical board and batten; all with semi-transparent stains are recommended.

The use of “hardi-plank” is also encouraged.

Brick

Natural sand mold brick is preferred. “Manufactured” sand mold and textured brick may also be approved. Color ranges should be subtle; no speckled or glazed effects permitted. Brick details in chimneys, sills, entry steps and foundations are encouraged (soldier courses, basket weaver, etc.)

Stone

Natural stone laid in a natural horizontal bed is preferred. Rubble and roughly squared stone should be used. Square-cut dimensional or ashlar stone is not preferred. If flat-faced, vertical bed stone is used, flush joints rubbed with burlap are recommended. Native Ohio limestone in gray or buff is preferred over more exotic stone.

Stucco

Stucco as a primary siding material is not encouraged. Stucco finishes may be accepted (except in patio houses) if properly detailed and is subject to the Design Review Committee approval.

Aluminum Siding and Vinyl Siding are not permitted.

Colors and Material Samples

All exterior building materials and colors are subject to review and approval by the Design Review Committee.

Patios, Terraces and Decks

Outside spaces such as patios, terraces and decks are important to every home; they are direct extensions to the inside living spaces of each residence. The design of outside living spaces must be properly coordinated with the design of every home.

Outside spaces, when designed to provide privacy, are to be enclosed with planting, fences, walls, or gently mounded earth.

Percentage of Enclosure

A certain amount of outside enclosure is desirable, but to assure preservation of the specious environment, no more than 25% of the total lot area in addition to the total lot area in addition to the house and garage may be enclosed by a fence or wall.

Onsite Sewage Treatment

Primary and secondary leaching areas have been established for each lot as shown on the Sage Creek Street Storm and Water Improvement Plans. If a desired home, driveway, or other design feature of a lot interferes with either the primary or secondary leaching areas of that lot, changes can only be made by obtaining approval from the Delaware General Health District located in Delaware, Ohio.

Collector Tiles

Perimeter tiles from each lot's leaching area shall be tied into one of several collector tiles serving the subdivision. Plan and profiles of the collector tiles can be seen on the Sage Creek Street Storm and Water Improvements Plan. Any changes to onsite leaching areas shall be designed such that existing collector tiles can be utilized.

Landscaping

The major goals of the landscaping are to 1) enhance each home and help it blend into the natural setting, 2) create a private environment for each home owner and 3) supplement and accentuate the existing features of the land.

Street tree plantings in open areas are encouraged. The Developer will suggest the type of trees to be used as the predominate species in various areas of the development. Each homeowner shall provide a landscaping plan as part of his/her required site plan for design review and approval.

Landscape gardens are encouraged, especially entry gardens and private gardens adjacent to various entrances to the home. Highly ornamental garden decorations (statuary, fountains, etc.) are to be screened from street and neighboring views, and are subject to design approval. These decorations are not encouraged unless they supplement the natural theme. Landscape plans must be submitted for approval by the Design Review Committee.

Garden walks and paths are important parts of any site development. Walks should appear natural, not rigid, straight-line sidewalks. Walks may be built from brick, rough-textured concrete, washed gravel, bark mulch, or other materials.

Planting around a home, ideally, should be massed in critical locations rather than merely stretched along the foundation. Plantings should be placed away from the house at entrances and other key spots to enhance the architectural features or privacy areas of each building. Foundation planting is acceptable if done carefully and in moderation.

Planting at or near property lines must be coordinated with neighboring property owners to create a natural flow of planting from property to property. Property lines are not to be accentuated as "lines"

Earth mounding is encouraged within-in a property if it is done in a subtle way with gentle slope to suggest natural grade. Mounding is effective when used with stone retaining walls.

Certain areas of wooded lots should be left in their natural state. These natural areas provide a pleasant contrast to finished areas and reduce maintenance.

Outdoor Lighting

All site lighting will be "indirect" or "area" lighting. Open bulb post lanterns or spotlights with direct glare should not be used. Wall-mounted are lighting may be used for the doorway, but should be positioned so as not to disturbed neighboring property owners. Motion detection lighting is acceptable. Mercury vapor or high pressure sodium lights are not permitted.

Utilities and Services

All electric and telephone services are to be underground. Meters on the exterior of houses are to be located for easy access of meter readers, but screened from street view.

All service entries and conduits are to be painted to blend with the home. No window air conditioners shall be permitted. Outside air conditioning condensers, fuel tanks, and other mechanical equipment are to be permanently screened from the street and neighboring properties. No fan is to be directed toward neighboring properties without an approved sound barrier.

NO outside TV or radio antennae are permitted without approval.

Satellite dishes larger than 24" diameter are not permitted.

Decks, Awnings and Patios

Decks attached to houses are to be large enough to be usable and built from materials similar to those used in the home. Wood decks should be stained to match the house or permitted to weather naturally. Decks are restricted to the buildable area of the lot and shall not extend into front and rear setbacks. Awnings used on patios and decks may be of wood and canvas. No metal or fiberglass awning products shall be used.

Detached Gazebos, Swimming Pools and Play Yards

Detached buildings of any type (garages, gazebos, cabanas, etc.) are encouraged at Sage Creek if they are designed to integrate with the design of the house itself. These facilities are part of the "private" system of the site. They shall be located within the buildable area and shall be screened to guarantee privacy. Swimming pools are permitted and must conform to building codes. No above ground or portable pools are permitted. Swimming pools are to be visually screened.

Basketball backboards mounted on the house or garage are discouraged when facing the street. Backboards shall be screened or painted to match the house and specific approval is required.

Portable basketball backboards are not permitted on the streets and must be stored out of visual sight from the street when not being used.

Tennis courts are permitted with approval if built within the building area and properly sited and landscaped.

Trash receptacle should be kept in a shed, garage, or visually screened enclosure.

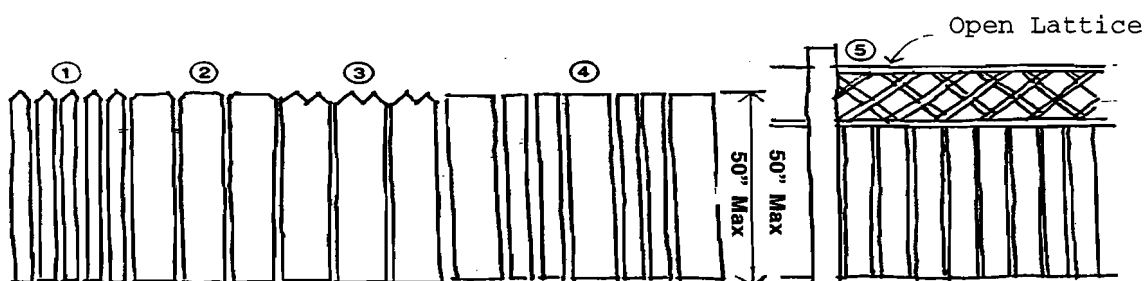
Fences and Screening

Fences built from wood, brick, wrought iron, or stone and screens developed from masses of planting are encouraged to enclose the private entry service areas of each site. Materials selected must be compatible with each home and conform with the natural character of the site. Wood fences are to be weathered or stained. No chain link or wire fencing will be permitted.

Fences should be high enough to provide privacy, yet low enough to permit views. Fence heights should range from a minimum of 24" to a maximum of 50". Fences or shrub rows should not be placed within the front yard or back yard setback area. All fencing and enclosures must receive design approval.

Property lines at Sage Creek should not be accentuated by treelines, fences or hedge rows. Properties are to blend into each other in a natural way as much as possible.

Alternate Picket Designs and Fence Details



Signage

Signs bearing owner's name or street number should be designed to be subtle, yet readable. They should be compatible with the natural setting.

Mailboxes and Light Fixtures

To ensure continuity of design, an original required mailbox and light post will be designated by the developer and installed by the builder.

Finally

It is intended that this Design Guide be of real assistance to architects, builders and owners as they design homes that will become part of the pleasant, quite atmosphere of Sage Creek. The natural environment will dominate throughout the development and seclusion and privacy will prevail for each family. Through the unified effort of all of those involved with building at Sage Creek, one of America's finest communities, will become reality.

Construction and Builder Regulation

Conservation of Existing Landscape

The natural landscape should be protected to maintain as much of the existing site character as possible.

Debris and Trash

The builder is responsible for all trash and debris on the construction site. Trash and debris shall be contained in a cage or appropriate container on the site and shall be removed as required. Any lightweight materials, packaging and other items shall be covered or weighed down to prevent wind from blowing such materials off the construction site. Builders and owners are prohibited from dumping, burying or burning trash anywhere on the lot or in the Sage Creek Development.

A \$500.00 deposit payable to Sage Creek Development is required of all builders and is refundable 90 days after final inspection, provided it is not needed for cleanup.

The builder will not be permitted to store trash or debris on neighboring property.

During the construction period, each construction site shall be kept neat and shall be properly policed to prevent it from becoming a public eyesore, or affecting other lots and any open space. Trash and debris cages to confine the trash are required. Any cleanup costs incurred by Sage Creek in enforcing these are requirements shall be billed to the builder. Dirt, mud or debris resulting from activity on each construction site shall be promptly removed from public or private roads, open spaces and driveways.

Restoration or Repair of Property Damage

Damage and scarring to other property or other improvements will not be permitted. If any such damage occurs, it must be repaired and/or restored immediately at the expense of the party causing the damage or the builder of the lot.

Signs

All contractor identification and real estate sales signs shall not exceed 24" X 24" and have dark brown background (Benjamin Moore - Van Buren Brow HC-70) with white letters (Helvetica Medium preferred). No additional signs are permitted.

Foundation Survey/Grades & Drainage

The builder is responsible for maintaining all grades and drainage per the approved Master Plan. A survey is required after foundation and block are completed to check for compliance with the Master Grading and Drainage Plan. A Owner/Builder is responsible for the completion of and payment for the survey.

Sage Creek New Home Design Review Application

Application Submitter _____

Address _____

City _____ State _____ Zip Code _____

Work Phone _____ Home Phone _____

Cell Phone _____ Pager _____

Owner _____

Builder _____

Architect/Designer _____

Landscape Architect/Designer _____

Building Program: All house plans must bear an Architect's seal.

- ☐ Standardized House Plan - show details of any variation from standard plans
- ☐ Custom/Architect Designed
- ☐ Other

Number of sq. ft. on main floor excluding garage _____

Total number of sq. ft. excluding garage _____

This Design Review Application shall be submitted for both Preliminary Design Review and for Final Design Review. This application serves (1) as a checklist to help in the consideration of the many decisions that will affect the design of your home at and (2) to provide the Environment Committee with the required basic data needed for proper understanding. This application is to be used in conjunction with the Design Guide. Incomplete submittals will NOT be accepted.

Return with appropriate drawings, and data to:

Joann Figge
Prudential Residential One, Realtors
428-C Beecher Road, Gahanna, Ohio 43230

Submissions will not be reviewed unless accompanied by payment to:

Sage Creek Development

Submissions will be reviewed within seven working days of receipt as follows:

- ☐ Design Approval \$250.00 per Preliminary and Final Design Review
- ☐ Landscape Approval \$50.00 per Submission
- ☐ Additional Submissions \$100.00 each Submission (Design or Landscape)

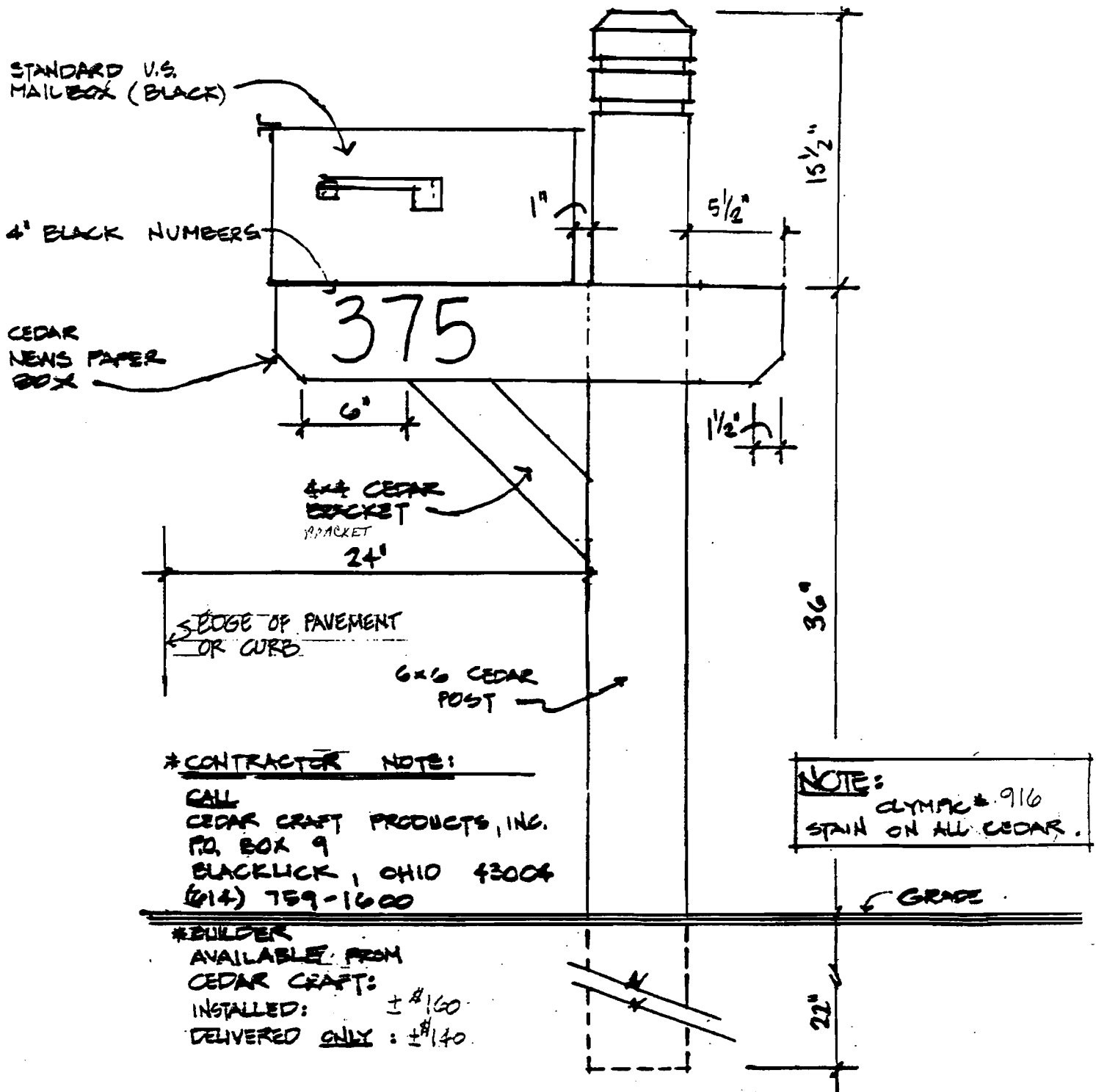
(Submissions with an additional fee of \$200.00 over the above will be reviewed within two working days of receipt.)

Street Address _____

Lot Number _____ Date _____

All submission review comments may be picked up upon completion or if not requested as such will be automatically returned by UPS, C.O.D.

Preliminary Design Review - Three (3) sets of preliminary plans shall be submitted. This review will evaluate the proposed project at the schematic design phase. The following drawings and information shall be submitted:



REQUIRED MAILBOX & POST

SAGE CREEK
APPROVED COLORS AND MATERIALS

The following colors and materials are those approved for use in
Other manufacturers' colors and materials are acceptable if they match those on the
approved list, but must be reviewed by the Sage Creek Design Review Committee.

A color selection board must be presented to the Design Review Committee.

STAIN COLORS:

Olympic Semi-Transparent Stains

707 Tobacco	901 White Birch
709 Black Walnut	906 Blueridge Gray
711 Coffee	909 Light Oak
713 Oxford Brown	911 Cape Cod Gray
716 Natural Tone Cedar	916 Driftwood Gray
726 Light Mocha	917 Weathered Barnboard
729 Dark Mahogany	Weathering Stain
	920 Aspen Tan

Olympic Solid Color Stains

Beachwood	Coffee
Beige Gray	Navajo White
Butternut	Sandstone
Cocoa	Willow Mist

ACCENT COLORS:

Benjamin Moore/Historical Color Collection

Clinton Brown	HC-67	Lancaster Whitewash	HC-174
Georgia Brick	HC-50	Richmond Gray	HC-96
Lafayette Green	HC-135	Van Buren Brown	HC-70

Martin-Senour Paints/Williamsburg Paint Colors

Bracken Tenement Biscuit	W81-1064
Bracken Tenement Blue Slate	W83-1065
Chowning's Tavern Brown	W85-1070
Grissel Hay Lodging House Gold	W83-1060
Governor's Palace Tan	W82-1072
James Moir Shop Fawn	W82-1080
Market Square Tavern Gray	W82-0270
Market Square Tavern Shell	W81-0330
Nicolson Store Red	W86-1081
Peyton Randolph Gray	W82-1086
Purdie House Gray Slate	W83-1090
William Byrd III House Ivory	W81-1073

* Any color not listed will be reviewed on a "case by case" basis.

ROOF MATERIALS:

<u>Manufacturer</u>	<u>Weight</u>	<u>Color</u>
Georgia-Pacific/Summit III	300#	Black Shadow Burntbark Brown Weathered Wood
Tamko/Heritage	330#	Rustique Slate
Celotex/Presidential Shake	360#	Bark Brown Weathered Wood Shadow Gray

BRICK:

<u>Manufacturer</u>	<u>Color</u>
Belden	Meadow Blend A
Claycraft	Cranbrook Buckskin
Cherokee-Sanford	Phoenix 114
Glen-Gery	Rosewood

*If not listed, provide a sample.

STONE:

Rubble and roughly squared stone masonry only. No dimensioned or ashlar stone masonry permitted. Native Ohio limestone in buffs and grays are suggested.

STUCCO:

Colors to match the paint colors listed below:

Martin-Senour	#W62-1161 (Flat Daphne Room Beige)
Martin Senour	#W62-0470 (Flat Chiswell Gray)
Martin-Senour	#W62-1157 (Flat Brown House Beige)

*Submit a stucco color sample for approval.

SAGE CREEK COMMUNITY
DESIGN REVIEW COMMITTEE (D.R.C.)

The D.R.C. consisting of at least three persons, shall be established for the following purposes:

(a) To provide a staff of persons for reviewing, evaluating, approving and disapproving proposed plans;

(b) To establish, maintain and preserve specific architectural guidelines and standards to carry out the intent of these restrictions, which guidelines and standards from time to time in effect with respect to all or any portion of the property shall hereinafter be referred to as the "Sage Creek Community Design Standards".

(c) To enforce the provisions of these restrictions when requested on behalf of Sage Creek Owners' Association.

SAGE CREEK HOMEOWNERS' ASSOCIATION

1. The Sage Creek Homeowners' Association will be an Ohio non-profit corporation formed for the purpose of holding title to open spaces and for maintenance and protection of the same.

2. The Association shall establish and collect an assessment which shall be based on the estimated budget for the next calendar year, divided by the number of lots in the neighborhood. The Association shall also develop rules for collection of assessments, interest and other charges and shall be responsible for the enforcement of all Association rules. The Association may also borrow funds, maintain a surplus, enter into contracts, and otherwise exercise complete authority over the use of open space.

3. The Association through its Design Review Committee as originally established by the developer shall continue to perform all duties and enforce all rules, regulations and restrictions, so long as the Association continues in existence.

4. The rules and regulations shall be deemed to run with the land and shall continue forever in full force and effect. The consent of owners of two-thirds of the total then existing units shall be required to amend or terminate these restrictions.

SCALED SITE PLAN delineating:

Existing Conditions:

- Property lines
- Building setbacks and easements

Proposed conditions:

- Building location within the building envelope
- Proposed patio or deck location
- Curb cut and driveway access
- Auto court development
- Proposed materials

FLOOR PLANS at 1/8" or 1/4" = 1'-0".

FRONT ELEVATION at 1/4" = 1'-0" delineating:

- Architectural character
- Proposed materials

Design review, response and suggested revisions will address proposed design for creative and aesthetic conformity to site context, theme of the overall development and stated architectural and site guidelines.

FINAL DESIGN REVIEW - Three (3) sets of complete building and site plans with specifications and completed Design Review application for the building and other permitted structures shall be submitted for review and compliance with the design guidelines. The following list of drawings must be submitted as part of this package at the scales requested, preferably on 24" x 36" sheets.

SITE PLAN - Scale to be 1" = 10' or 1/8" = 1'-0". The site plan is to indicate all special assets of your lot (trees, ravines, etc.) and all proposed improvements:

- Building footprint
- Location of proposed decks and terraces with finish materials specified.
- Driveways, auto courts with specified finishes
- Walls and/or fences with sufficient detailing to describe the character intended

GRADING PLAN - The grading plan is to show existing one foot contours, proposed finished grades, and how you will control rainwater during construction. The grading plan should also indicate how lot perimeter elevations are maintained. This information may be included on your site plan. Your contractor and you are responsible for maintaining all such grading.

UTILITY PLAN - Indicate sanitary sewer, storm sewer, waterlines and electric and telephone distribution. This may be shown on the site plan.

FLOOR PLAN - Scale 1/4" = 1'-0"

BUILDING ELEVATIONS - Scale 1/4" = 1'-0"

These elevations should show all sides of your home, including storage sheds, garages, etc.

Indicate all finish materials and colors, and typical detailing of windows, eaves and transitional corners.

LANDSCAPE PLAN - Tree locations, patios, retaining walls, etc. must be indicated. This may be submitted at a later date before completion of construction if a preliminary design sketch is submitted and approved.

One copy of the final approved documents will be retained by the Developer to be used in context evaluations of adjacent lots, and development throughout the design review process.

Design Data

The following items must be considered in the preparation of the above documents. Check off all items that have been implemented into your design:

I. Site Design

A. LOT TYPE (Check all that apply)

- | | |
|--------------------------------|----------------------------------|
| <input type="checkbox"/> Open | <input type="checkbox"/> Wooded |
| <input type="checkbox"/> Level | <input type="checkbox"/> Sloping |

B. DRIVEWAY

- ☐ Straight in from street (not preferred)
☐ Curve in from street ☐ Passes main entrance
Two required visitor parking spaces are to be indicated on site plan in addition to two or more enclosed parking spaces.
Driveway slope not to exceed 1 : 10 slope.
Minimum 10' width of Unistone pavers required where drive adjoins street.

C. HOME ORIENTATION

- Private areas have been coordinated with neighboring lots: ☐ yes ☐ no
Home is oriented:
☐ Parallel to street ☐ Perpendicular to street
☐ At an angle to street
☐ Home is set on site so that it does not "line-up" directly with others.

D. SITE QUALITIES

- Indicate on site plan or grading plan:
- ☐ Trees saved - size and species
 - ☐ Trees to be removed - size and species
 - ☐ Areas to be preserved (no debris to be placed in ravines)
 - ☐ Views to be used (indicate direction with arrow)
 - ☐ Existing rainwater drainage pattern noted
 - ☐ Rainwater control during and after construction
 - ☐ Side and backyard grade differentials have been coordinated with neighboring lots
 - ☐ Minimum sideyard setback have been maintained
 - ☐ Downspout drainage lines located

E. GARAGE OPENING

- | | |
|---|---|
| <input type="checkbox"/> Facing street (not preferred) | <input type="checkbox"/> Facing side of yard |
| <input type="checkbox"/> At rear of home | <input type="checkbox"/> Set back from front of home |
| <input type="checkbox"/> Partially screened with planting | <input type="checkbox"/> Automatic garage opener provided |

II. Home Design

A. TYPE OF HOME

- | | |
|---|--|
| <input type="checkbox"/> One story | <input type="checkbox"/> One and one-half story |
| <input type="checkbox"/> Two story | <input type="checkbox"/> Split level (front to back) |
| <input type="checkbox"/> Split level (side to side) | <input type="checkbox"/> Other - Describe _____ |
-

H. DCORS

Entrance Door

```
[ ] Flush      [ ] Wood [ ] Metal [ ] Stained [ ] Painted
[ ] Paneled   [ ] Wood [ ] Metal [ ] Stained [ ] Painted
```

[] Other - Describe _____

Exterior Service or Rear Door

Type _____ ☐ Stained ☐ Painted

Storm and/or Screen Door

Type: ☐ Wood ☐ Stained ☐ Painted ☐ Color-coated metal

I. GARAGE DOOR

<input type="checkbox"/> Flush overhead	<input type="checkbox"/> Stained	<input type="checkbox"/> Natural Wood	<input type="checkbox"/> Painted
<input type="checkbox"/> Paneled overhead	<input type="checkbox"/> Stained	<input type="checkbox"/> Natural Wood	<input type="checkbox"/> Painted
<input type="checkbox"/> Wood siding covered	<input type="checkbox"/> Stained	<input type="checkbox"/> Natural Wood	<input type="checkbox"/> Painted

[] Other - Describe _____

III. Building Materials and Colors

A. ROOF MATERIALS

[] Handsplit shakes [] Wood Shingles
[] Asphalt shingles - color, style and mfg.

[] Gutters, Fascia and Rakeboards stained or painted to be complimentary to roof color.

B. EXTERIOR SIDEWALL MATERIAL

☐ Wood Type _____
☐ Stone Type _____ How laid _____
☐ Brick _____
☐ Other - Describe _____

Are you going to use any wrought iron? [] Yes [] No
If yes, provide details with elevations. No ornate wrought iron is permitted.

C. COLORS Indicate color locations on elevations.

Siding Color _____ Brick Mfg. _____ Color _____

Trim Color _____ Roofing Mfg. _____ Color _____

Accent Color _____

IV. Patios, Terraces, Decks, etc. (Locate on Landscape Plan)

☐ Patio - Materials _____ Color _____

☐ Decks - Materials _____ Color _____

☐ Swimming Pool - Size _____

☐ Tennis Court - Size _____

☐ Basketball Backboard ☐ Trellis

Trash cans and rubbish areas hidden from view by:

☐ Special shed that compliments house design

☐ Keep trash in garage ☐ Visually screened area - Describe _____

Entry Walk

☐ Straight ☐ Curved

☐ Brick Pavers ☐ Concrete ☐ Railroad tie steps or edges

☐ Flagstone ☐ Exposed Aggregate Concrete ☐ Other-Describe _____

Decks

☐ Uncovered ☐ Covered ☐ Wood ☐ Canvas

☐ Other - Describe _____

☐ Railing Material - Describe _____

Enclosed Areas

☐ All enclosed exterior areas within buildable area.

Percentage of lot enclosed _____ %

Type of Fence or Wall

☐ Wood fence Type _____ Color _____

☐ Brick wall Mfg. _____ Color/Range _____

☐ Stone Wall Type _____ How Laid _____

☐ Iron fence Type _____ Color _____

V. Landscaping (Indicate on Landscape Plan)

☐ Existing trees retained

☐ Foundation planting

☐ Natural areas preserved

☐ "Private" spaces created

☐ Earth mounding used

☐ Retaining walls used

VI. Utilities and Lighting

☐ Underground service ☐ T. V. antennae concealed

☐ Air conditioning condensers etc. concealed from view

☐ Yard lighting not "directed" towards street or neighbors

☐ Photos or cuts of exterior light fixtures enclosed with application.